



# 2010

## East Lac La Biche Area Structure Plan



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## 1.0 INTRODUCTION

### 1.1 Area Location

The plan area is shown on Figure 1. It contains approximately 441.73 acres of land. The lands within the plan area are located on the eastern side of the Hamlet of Lac La Biche and are currently owned by the County. The lands are bound by Highway 881 to the south and east; Beaverhill Road to the West; and Lakeland Drive to the north.

There are three different owners within the Plan Area. These include two parcels owned by the Lac La Biche Agricultural Society and 1233216 Alberta Ltd., and eight (8) parcels owned by Lac La Biche County.

Parcel	Parcel Linc	Size (acres)	Owner
<b>Non County Owned Parcels</b>			
Plan 0840719 Block 1 Lot 2A	0033685729	31.09	Lac La Biche Agricultural Society
Pt. SW 5-67-13-W4	0031467301	16.08	1233216 Alberta Ltd.
<b>County Owned Parcels</b>			
Plan 9624421 Lot 1	0031467491	16.19	Lac La Biche County
Plan 0840719 Block 1 Lot 1ER	0033779836	19.50	Lac La Biche County
LLB Settlement Lot 65	0031612352	55.95	Lac La Biche County
LLB Settlement Lot 66 OT	0016755218	87.80	Lac La Biche County
Pt. SE 5-67-13-W4	0033685711	65.00	Lac La Biche County
Plan 0921920 Block 1 Lot 1	0033794504	38.33	Lac La Biche County
Plan 1926TR OT	0020164885	107.82	Lac La Biche County
Closed Road Allowance		3.97	Lac La Biche County
<b>Total All Parcels</b>		<b>441.73</b>	

### 1.2 Enabling Legislation

The East Lac La Biche Area Structure Plan has been adopted by the County as a statutory plan in accordance with Section 633 of the Municipal Government Act. This section describes an area structure plan as providing a framework for subsequent subdivision and development of an area of land.

### 1.3 Background

This area structure plan is being prepared by Lac La Biche County for lands surrounding the Bold Center, which is a state of the art recreation and leisure facility in east Lac La Biche.

In addition to the Bold Center, the lands will be ultimately developed to include the following:

- Recreational and Institutional Uses;
  - South of Railway Tracks – uses to include trails, recreation vehicle campground, ball diamonds, football field and storm pond; and
  - North of Railway Tracks – uses to include trails, skate park, volleyball, horse shoes bird watching, picnic area and toboggan hill);
- Commercial Uses;
  - Highway Commercial;
  - Arterial Commercial; and
  - Neighbourhood Commercial.
- Natural Open Space;
  - Environmental Reserve; and
  - Buffer strips, parkettes and linear parks.
- Residential Uses;
  - Single Detached Dwellings.

These lands will be developed in multiple phases, dependent upon funding as well as market conditions.

## **1.4 Planning Framework**

The East Lac La Biche Area Structure Plan has been adopted by the County as a statutory plan in accordance with Section 633 of the Municipal Government Act. Furthermore, the East Lac La Biche Area Structure Plan implements the scope and intent of the Municipal Development Plan, General Municipal Servicing Standards, and Riparian Setback Matrix.

Prior to adoption of the East Lac La Biche Area Structure Plan, the plan area was located partially within the former Town of Lac La Biche and partially within Lakeland County. Following amalgamation of the two municipalities, the County has initiated construction of the Bold Centre, which will be the focal point of the plan area, and required a plan to enable the development of institutional, residential and commercial lands in close proximity to the facility.

The Lac La Biche County General Municipal Servicing Standards provides guidelines and policies on development for institutional, residential and commercial areas. This document ensures that all lands within the plan area can be developed to existing municipal standards and policies.

The Lac La Biche County Riparian Setback Matrix has been prepared to give an overview of the model for those working in the development industry. The Riparian Setback Matrix Model is used by the County to establish unique environmental reserve setbacks to lakes, streams, brooks, creeks, wetlands and intermittent water drainage courses during the development process under authority of Part 17 of the *Municipal Government Act* to sustain watershed and/or watercourses in balance with development pressure. This document ensures that the lands surrounding the pond on the south portion of the plan area are suitably designed.







## **2. PLAN VISION**

### **2.1 Plan Goal**

The goal of the East Lac La Biche Area Structure Plan is: “to foster community development efficiently and in a manner that maintains a high quality of built and natural environment”.

### **2.2 Plan Objectives**

The following objectives were identified for the East Lac La Biche Area Structure Plan:

1. To accommodate additional recreational open space opportunities for lands surrounding the Bold Center;
2. To plan for the provision of an adequate supply of single detached dwelling units;
3. To facilitate the establishment of highly desirable business and employment opportunities that are compatible with the surrounding residential and institutional land uses;
4. To provide a planning, infrastructure and services framework for the subdivision of lands that promotes economic and environmental sustainability;
5. To preserve natural features in the plan area; and
6. To acknowledge and respect existing County standards and policies.

In pursuing the goal and objectives, the plan endorses and promotes the General Municipal Servicing Standards, as amended from time to time.

The plan supports environmentally sustainable principles and best management practices and standards and ecological conservation.

### 3. EXISTING SITE CHARACTERISTICS

#### 3.1 Tree and Wetland Natural Habitat Features

The plan area encompasses two wetland features; Alexander Hamilton Park stormwater detention pond; and the unnamed pond adjacent to the County Centre on Highway 881.

The northern portion of the plan area, which includes all those lands north of the railway right-of-way, include Alexander Hamilton Park. The fish pond at the Park is a reclaimed sewage lagoon.

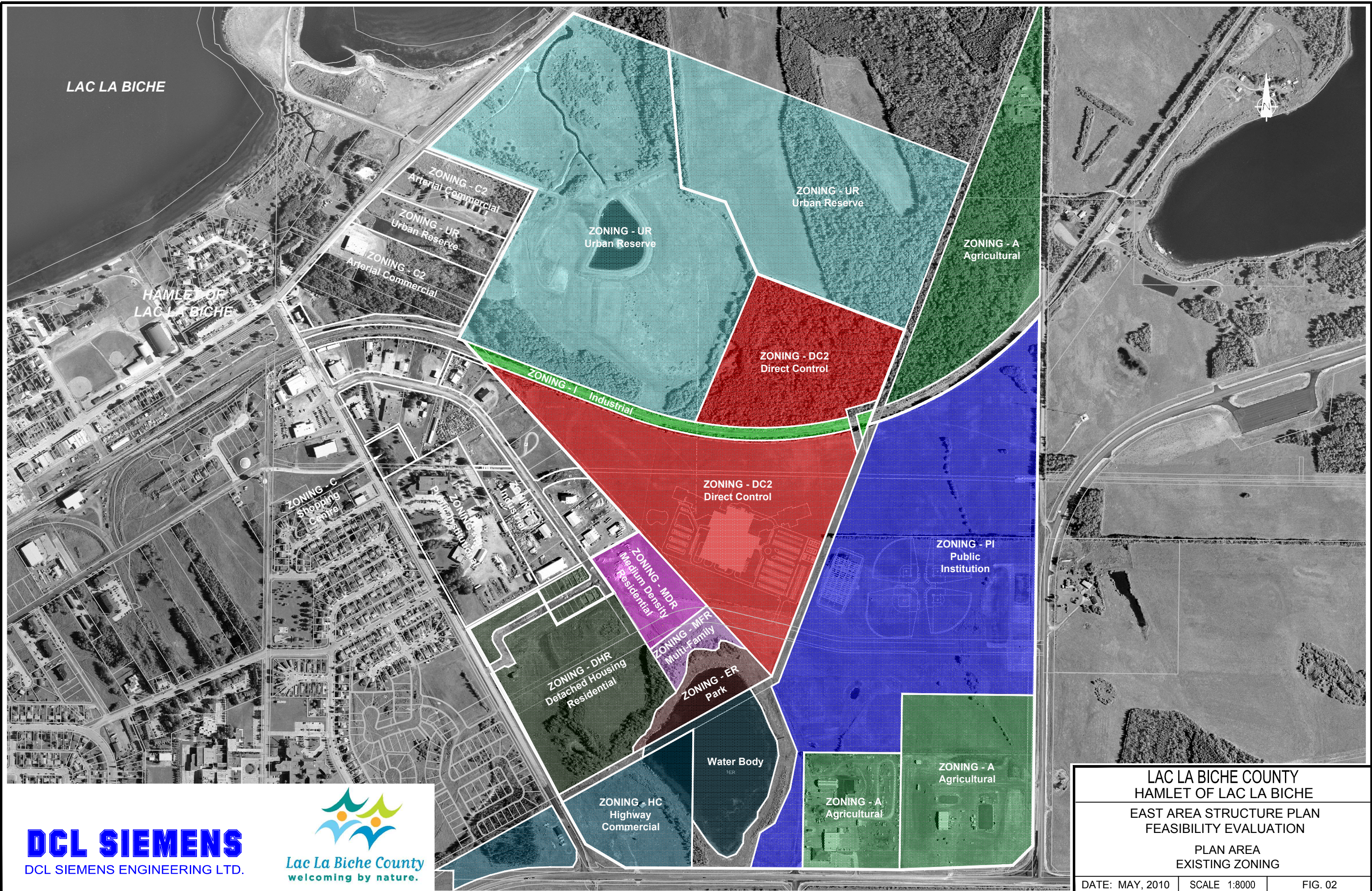
The southern portion of the plan area, has one prominent wetland, being the unnamed pond adjacent to the County Centre. A portion of the pond is dedicated as Environmental Reserve pursuant to a subdivision approval obtained in 1984.

#### 3.2 Existing Zoning and Land Use

The Plan Area consists of seven parcels which are owned by the County. The current and proposed zonings are included below:

Parcel	Current Zoning	Proposed Zoning
<b>Non County Owned Properties</b>		
1. Plan 0840719 Block 1 Lot 2A	A - Agricultural	A – Agricultural NOS - Natural Open Space/ER
2. Pt. SW 5-67-13-W4	HC – Highway Commercial	HC – Highway Commercial NOS – Natural Open Space/ER
<b>County Owned Properties</b>		
3. Plan 9624421 Lot 1	A - Agricultural	A – Agricultural
4. Plan 0840719 Block 2 Lot 1ER	Environmental Reserve	Environmental Reserve
5. LLB Settlement Lot 65	R1 – Res. Detached R2 – Res. Medium Density R3 – Res. Multi Family P - Park	LDR –Low Density Hamlet Res. C1 – Hamlet Commercial C2 – Arterial Commercial NOS – Natural Open Space/ER
6. LLB Settlement Lot 66 OT	DC2 – Direct Control	DC2 – Direct Control
7. Pt. SE 5-67-13-W4	PI – Public Institutional	PI – Public Institutional C2 – Arterial Commercial NOS – Natural Open Space/ER
8. Plan 0921920 Block 1 Lot 1	PI – Public Institutional	PI – Public Institutional NOS – Natural Open Space/ER
9. Plan 1926TR OT	UR – Urban Reserve	PI – Public Institutional







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HAMLET OF  
LAC LA BICHE

ZONING - PI  
Public Institution

ZONING - DC2  
Direct Control

ZONING - PI  
Public Institution

ZONING - ER  
Environmental  
Reserve

ZONING - PI  
Public Institution

Storm Pond

Play

RV Park

ZONING - PI  
Public Institution

ZONING - C2  
Arterial Commercial

ZONING - ER  
Environmental  
Reserve

ZONING - C2  
Arterial Commercial

ZONING - A  
Agricultural

ZONING - A  
Agricultural

ZONING - NOS/ER  
Natural Open  
Space  
Environmental  
Reserve

ZONING - HC  
Highway  
Commercial

ZONING - C2  
Arterial Commercial

ZONING - LDR  
Low Density  
Hamlet Res.

ZONING - LDR  
Low Density  
Hamlet Res.

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**Lac La Biche County**  
welcoming by nature.

LAC LA BICHE COUNTY  
HAMLET OF LAC LA BICHE

EAST AREA STRUCTURE PLAN

FUTURE ZONING

DATE: MAY, 2010

SCALE 1:8000

FIG. 03



## 4. DEVELOPMENT CONCEPT

### 4.1 Land Use

All future subdivision and development within the plan area shall conform to the land use concept illustrated in Figure 4. The land use concept is based on current and anticipated market trends, the objectives of this plan, as well as relevant principles contained in the County's Municipal Development Plan, Land Use Bylaw and General Municipal Servicing Standards.

The following table illustrates the land use statistics for the plan area. The plan area is dominated by recreational and commercial land uses.

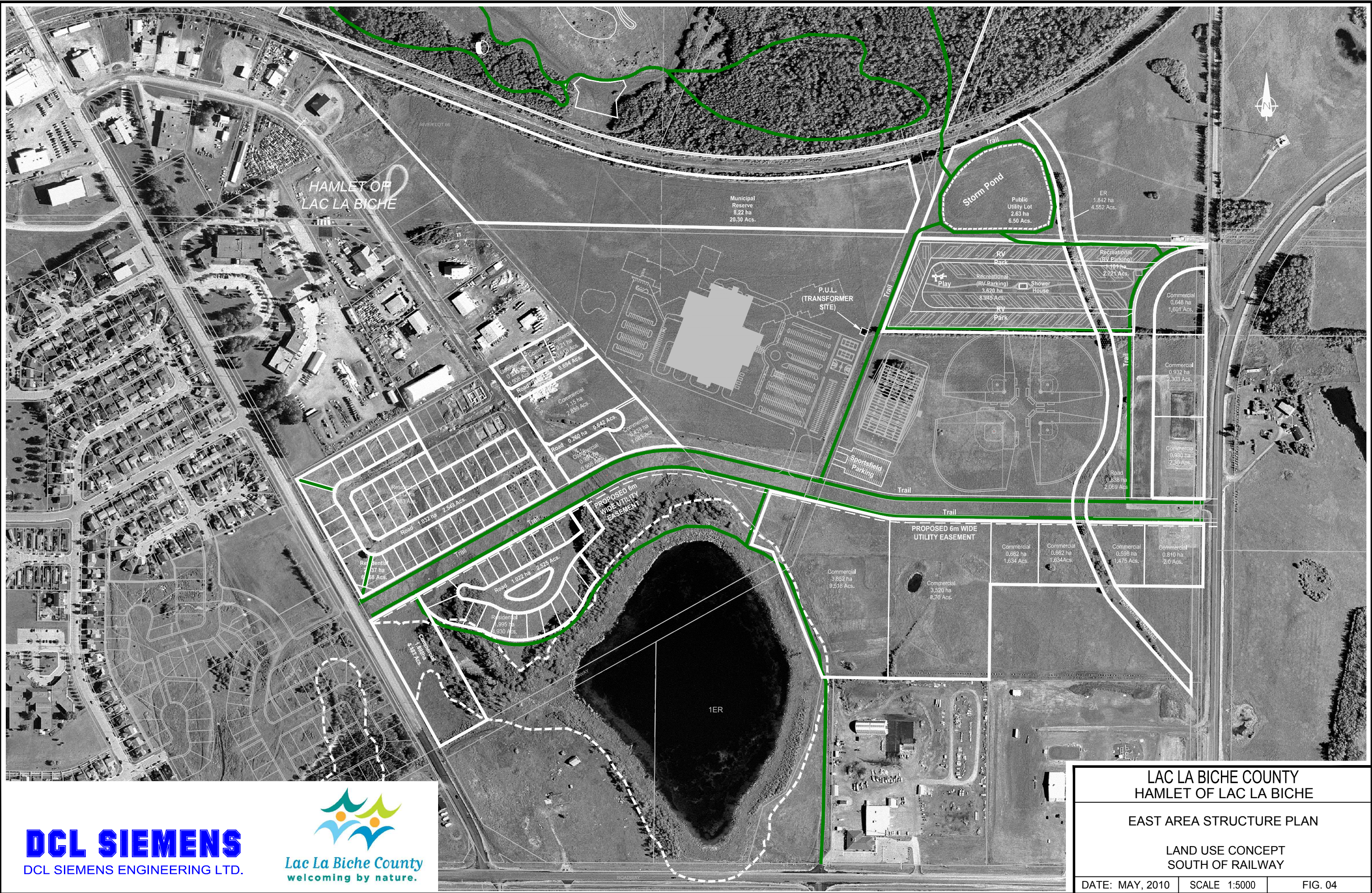
Recreational land uses (DC2 and PI) will represent the largest component of land (258.41 acres representing 58.5%).

Other large land uses will be commercial (53.58 acres or 12%); environmental reserve (49.12 acres or 11%); and agricultural uses which include the Agricultural Society and County Administration (46.12 acres or 10.5%). Roads comprise 19.22 acres, or 4% of the land.

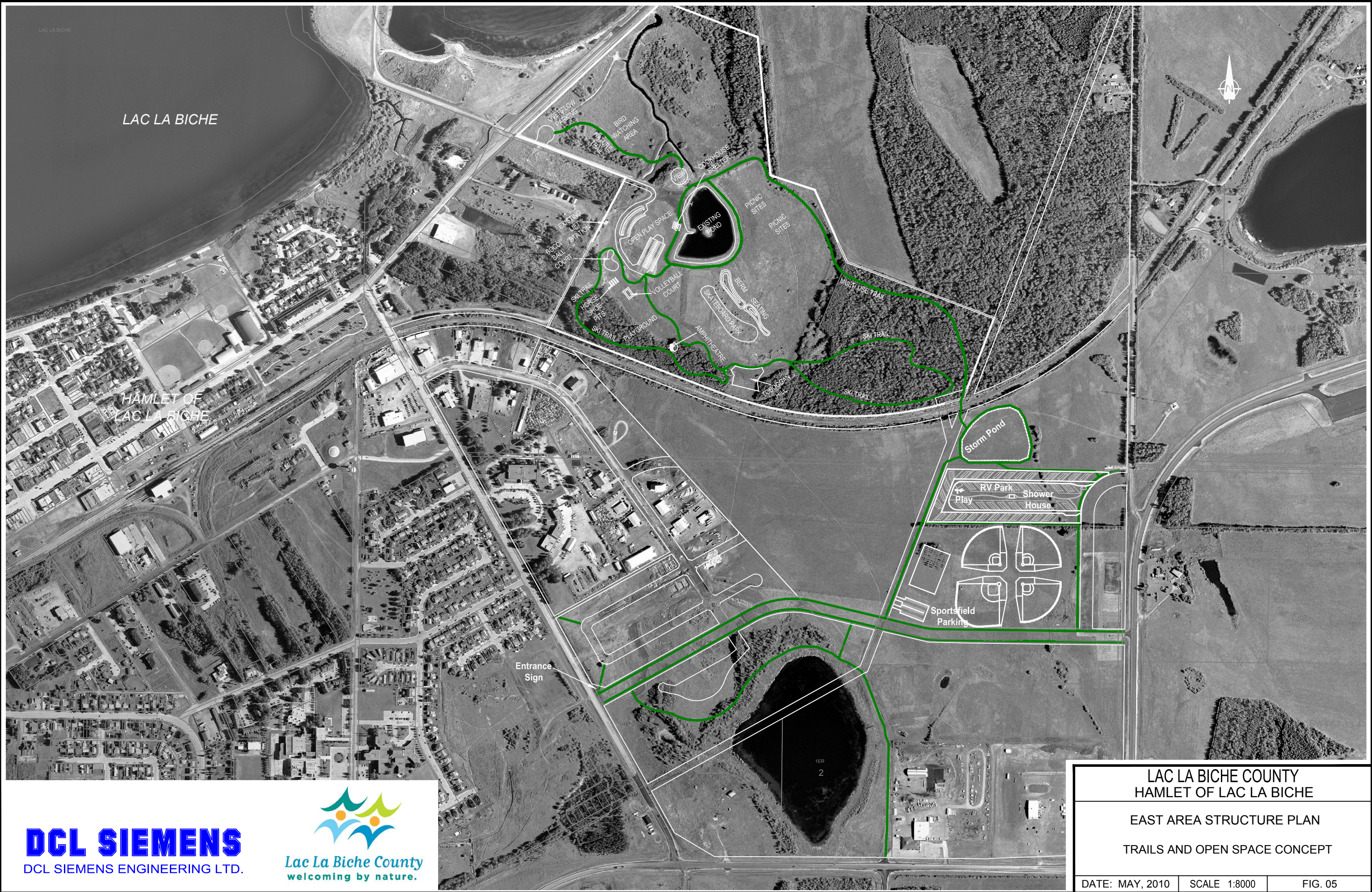
A small 15.18 acre portion of land, representing 4% of the lands, are dedicated for low density residential land use which will accommodate 71 single detached dwellings.

Parcel	Area (ac)	AG	HC, C1 C2	LDR	DC2 PI	ER	Roads
Plan 0840719 Bk Lot 2A	31.09	30.04				1.05	
Pt. SW 5-67-13-W4	16.08	16.08					
Plan 9624421 Lot 1	16.19		11.11			5.08	
Plan 0840719 Bk 1 Lot 1ER	19.50					19.50	
LLB Settlement Lt 65	55.95		10.39	15.18		20.08	10.30
LLB Settlement Lt 66 OT	87.80				85.97		1.83
Pt. SE 5-67-13-W4	65.00		32.18		23.26	2.47	7.09
Plan 0921920 Bk 1 Lt 1	38.33				37.39	0.94	
Plan 1926TR OT	107.82				107.82		
Closed Road Allowance	3.97				3.97		
Total All Parcels	441.73	46.12	53.68	15.18	258.41	49.12	19.22











## 4.2 Vehicle and Pedestrian Circulation

The plan area is a mixed use land use area which excludes industrial activities. In order to accommodate the traffic flows associated with these types of land uses, a planned system of roadways and trails will effectively manage transportation activity patterns. All planned roadways and trails are to be constructed in accordance with the General Municipal Servicing Standards to ensure a fully integrated, consistent and safe circulation system.

The three classes of roadways contained within the East Lac La Biche Area Structure Plan are described below:

- a) Arterial Roadway:
  - a. 37 metre right-of-way;
  - b. 2 x 8.4 metre road surfaces;
  - c. 4.5 metre median;
  - d. Rolled curb and gutter; and
  - e. 2 x 2.5 metre multi-surface trails constructed adjacent to curb.
- b) Arterial Commercial District Roadway
  - a. 30 metre right-of-way;
  - b. 11.5 metre road surface;
  - c. Rolled curb and gutter; and
  - d. 1 x 2.5 metre multi-surface trail adjacent to curb.
- c) Commercial and Residential Districts Roadway
  - a. 20 metre right-of-way;
  - b. 9.0 metre road surface;
  - c. Rolled curb and gutter; and
  - d. Sidewalks on both sides of the street.

### 4.3 Public Open Space

Public open space within the plan area consists of the following categories:

a) Storm Pond(s)

The area that is set aside for surface or underground infrastructure is identified in Figures 3, 4 and 5. The storm pond is located within lands intended to be rezoned to Public Institutional.

b) Natural Areas

This category includes areas that qualify for environmental reserve dedication under the Municipal Government Act as well as areas which do not qualify as such, but that area deemed environmentally significant.

Figures 3, 4 and 5 illustrate the location of proposed roadways, municipal reserve lots, and environmental reserves relative to the actual location of those natural features that are to be preserved (as confirmed by aerial photography).

#### Potential Environmental Reserve

The development concept in Figures 3, 4 and 5 identify those natural areas which, with reasonable certainty and without having conducted a site analysis, qualify for environmental reserve dedication based on the existence of, for example, a natural drainage course or a wetland that consists of a permanent or semi-permanent pond.

Based on the Riparian Setback Matrix, the pond of the south portion of the plan area has a riparian zone that has high ecological value, and therefore a wide buffer free zone of construction that should be left around the wetlands.

The following areas contain natural capital that do not qualify as environmental reserve but are conservation worthy:

#### Buffer Strips, Parkettes and Linear Parks

Buffer strips, parkettes and linear parks may be developed on municipal reserve lots. Municipal Reserve lots contain the natural capital listed in this Plan will be left in a natural state. Municipal Reserve lots may combine active and passive recreation along with a trail.

## 5. UTILITY SERVICES

Municipal utility services will be required to develop the plan area for its proposed land uses. Figures 6, 7 and 8 illustrate the routing of municipal storm water services, sanitary services and water services.

### 5.1 Storm Water Drainage

Figure 6 shows the stormwater management concept for the subject area, which is divided into two main drainage areas. That area lying east and west of Nipewon Road, north of the Bold Center Access Road, will drain to the west across Beaverhill Road via an underground storm sewer system and eventually discharge into a proposed stormwater pond within the Dumasfield subdivision.

Stormwater management in the remainder of the area will be accomplished through the use of existing and manmade storm ponds and drainage channels. This open-flow method of stormwater management is cost effective and provides for better treatment of the stormwater (removal of solids and pollutants) prior to it reaching any environmentally sensitive water bodies.

### 5.2 Sanitary Sewer

This area will be fully serviced with an underground sanitary sewer system. A portion of this gravity sewer system was installed in 2009 under the Bold Center Access Road, to the extent required to service the Bold Center, and will be extended in 2010 to the east edge of the proposed sports field. This is the furthest east this gravity sanitary sewer system can be extended due to the lack of ground cover to prevent freezing. However, this extension should be sufficient to provide for servicing the two commercial lots being proposed immediately north of the County Administration Building.

The areas at the east end of the subject area, including the proposed commercial lots and RV Park, can be serviced by a gravity sewer system installed along the Bold Center Access Road to Secondary Road 881 and then north along Secondary Road 881 to a proposed lift station (near the CN Railway). A forcemain will be installed along the same route and will discharge into the last sanitary sewer manhole to be installed in 2010. The existing and proposed sanitary sewer system is shown on Figure 7.

The proposed lift station and gravity sanitary sewer along Secondary Road 881 should be sized to accept flows from east of Secondary Road 881.

### 5.3 Water Distribution

In 2009 watermains were installed under the Bold Center Access Road from Beaverhill Road to the entrance to the Bold Center. In 2010, this watermain system will be extended to the east edge of the sports field. This distribution system has been sized to provide service to the entire subject area and can be extended as and when required.

The existing and proposed water distribution system is shown on Figure 8.

### 5.4 Natural Gas Distribution

This area will be serviced by a 100 mm polyethelene distribution line located on the north side of the east/west main arterial road. This main line will cross to the south side of the main access road just east of the Bold Centre access to more easily accommodate the lots located on the south side of the main road. There will be a 50mm polyethelene distribution line extended across the main arterial road at the Nipewon Road access to service the lots located west of the Nipewon Road access and south of the main arterial road. There are two high pressure gas mains located north of the Bold Centre which run east/west. These are main feeder lines for the County's natural gas distribution system and must be maintained in their present location. This easement could be utilized as a walking path from the proposed camping area to Nipewon Road.















## **6. DESIGN AND DEVELOPMENT STANDARDS**

### **6.1 Purpose**

The purpose of the Design and Development Standards is to ensure an attractive and integrated environment consistent with the overall purpose of the ASP and adjacent neighbourhoods or projects. They are intended to provide a unique and enjoyable experience for residents, visitors, shoppers, employees, entrepreneurs and families.

Proposed development permits that are not in compliance with these or any other standards of the East Lac La Biche Area Structure Plan shall be subject to a review by the Municipal Planning Commission.

### **6.2 Commercial Standards**

#### **6.2.1 Building Facades**

The building design shall present patterns and materials that are visually interesting at the street level. This is accomplished through the use of a combination of features that change in material, color, relief and texture.

#### **6.2.2 Exterior Features**

The use of awnings, signage, windows and doors are required, particularly for businesses and uses with access to pedestrian pathways.

#### **6.2.3 Roofs and Rooftops**

All roof mounted equipment shall be screened by a parapet wall on all sides. An articulated roof line or cornice shall be designed as a major feature at or near the top of building walls.

#### **6.2.4 Exterior Materials**

The exterior finish of commercial structures shall be of wood, prefabricated materials, stone, brick, architecturally finished block or concrete, stucco, or other durable aesthetically pleasing material that is appropriate to the development style.

## 6.2.5 On and Off-site Improvements

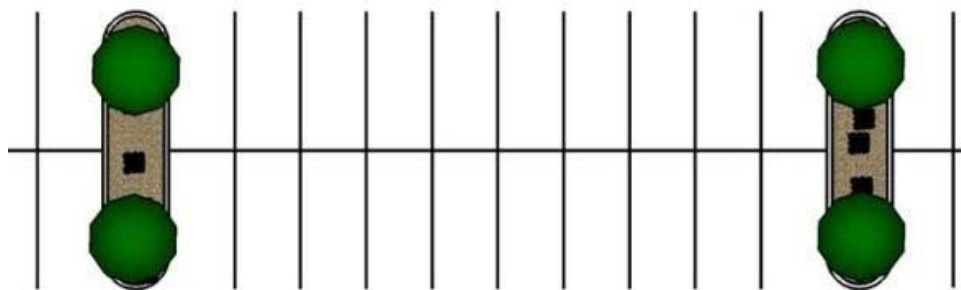
### 1) Fences and Walls

- a) All screen walls shall be constructed of decorative materials; no plain walls or concrete block walls shall be permitted.
- b) No chain link fences shall be permitted, unless of a temporary period of time for construction sites.
- c) No barbed wire or razor wire is permitted at any time.

### 2) Landscaping

- a) Landscaping standards are provided to assist developers within the East Lac La Biche Area Structure plan to achieve a quality design that will enhance the overall experience of visiting the area. All developments will have the appearance of being of high quality and design compatibility between uses will be ensured. The following standards shall be followed:
  - i. Boulevard Trees shall be planted along every street within the East Lac La Biche Area Structure Plan. All trees and landscaping material shall be a combination of plant materials tolerant of the Lac La Biche County climate.
  - ii. Maintenance of medians, landscaped areas and trails are the responsibility of Lac La Biche County.
  - iii. Landscaped Islands and Tree requirements:
    - Landscape islands are required at the end of all parking rows.
    - Landscaped island and planter areas shall be 1.5 metres in width.

**Figure 6 – Parking Lot Landscaping Example**



3) Street Lighting

- a) The East Lac La Biche Area Structure Plan will have two types of street lighting; standard and decorative. Both types of lighting shall be integrated into the design of each project; street lighting is an important component in establishing a look and feel to this area of the County. The following criteria shall apply:
- Street lights are intended to reinforce the difference between major and minor arterials within the ASP. No overhead lighting shall be allowed in individual lots.
  - Decorative lighting shall be placed at regular intervals and have a clearly defined pattern.

4) Street Furniture

- a) The design of street furniture, such as benches, bicycle racks, trash receptacles, newspaper racks and information panels shall be incorporated into the overall design of the area.

5) Parking Standards

All uses shall meet the parking standards of the Lac La Biche County Land Use Bylaw, in addition to the following:

- a) On-street parking shall not count in meeting the requirement for the number of parking spaces. Some on-street parking is permitted for overflow parking or for service and delivery purposes.
- b) Surface parking shall be separated from buildings by surface treatment variations and or grade separation.
- c) Customer parking spaces shall not directly abut buildings and be separated by a planter/sidewalk area.
- d) A continuous internal pedestrian and handicap accessible walkway must be provided from the perimeter public sidewalk to the principal customer entrance. This walkway must be delineated by surface markings or patterned concrete.
- e) When buildings are located at the front of a site, all parking shall be located to the side or rear of buildings unless the applicant can demonstrate it is not feasible to do so.
- f) Parking lots shall be screened by either landscaping or buildings; any area of a parking lot which abuts a public street shall be set back from the property line a minimum of 3.0 metres.
- g) Smaller, well-landscaped parking areas are encouraged. Parking lots are to be separated by walkways with a landscaped planter on each side. Parking shall not directly abut any building.
- h) Wheelstops are required to prevent automobiles from overhanging into abutting sidewalks, rights of way and to protect landscaped areas.

## 6.3 Residential Standards

### 6.2.1 Site Design

- 1) Houses should face streets, unless along the main Lac La Biche Area Structure Plan Boulevard.
- 2) On-street parking is permitted in residential streets on one side of the street. On-street parking may not be used to meet residential parking standards.
- 3) The preferred, but not required lot layout is to have the garage recessed behind the dwelling in the rear yard. The garage may be accessible by a driveway beginning at the front of the house, or the garage may be setback or staggered behind the front of the home.
- 4) Blocks shall be arranged to discourage cut-through traffic
- 5) Staggered front setbacks are encouraged to enhance the streetscape of the residential project.
- 6) Chain link fences are not permitted except on temporary construction sites.
- 7) Razor wire and barbed wire are not permitted within the Area Structure Plan boundaries.
- 8) The preferred elevation would provide a front porch oriented to the street as the dominant feature of the home.
- 9) Courtyards, patios, gardens and other open spaces may be incorporated into the design of the home.
- 10) Houses next to single storey dwellings shall be no more than 35 feet to the top of the roof line.

### 6.2.2 Landscaping/Open Space

1. All houses shall provide two trees in the front yard setback area.
2. Minimum acceptable size: Deciduous - 50 mm caliper measured at 150 mm above the top of the root ball; and Coniferous – 150 cm in height.



## 7.0 PLAN IMPLEMENTATION

### 7.1 Development Phasing

The stages of development within the East Lac La Biche Area Structure Plan will occur in a logical and efficient manner in consideration of existing infrastructure and services. In general, development of the plan area will commence in the western portion of the plan area and progress in an easterly and northerly manner.

### 7.2 Amendments to this Plan

All plan amendments shall be prepared in accordance with the Lac La Biche County Consultation Requirements Policy and shall follow the process outlined in the Municipal Government Act.

Provided the intent of the Plan is maintained, minor adjustments to proposed land use boundaries or roadways or servicing alignments, etc. may be incorporated where necessary without amendment to the Plan.

### 7.3 Land Use Bylaw

The Land Use Bylaw provides for the following land uses proposed in the Plan Area:

- A – Agricultural;
- HC – Highway Commercial;
- LDR – Low Density Residential;
- C1 – Hamlet Commercial;
- C2 – Arterial Commercial;
- NOS – Natural Open Space; and
- PI – Public Institutional.

Land Use Amendments must be made concurrently with the adoption of this Area Structure Plan.

### 7.4 Plan Review

The East Lac La Biche Area Structure Plan should be subject to a comprehensive review and update every five (5) years to allow for consideration of any changing or emerging issues and trends.